

**CITY OF MT. MORRIS
PLANNING COMMISSION AGENDA
July 15th, 2024
6:30 p.m.**

1. **MEETING CALLED TO ORDER:** Chairperson Sara Black.
2. **ROLL CALL**
3. **APPROVAL OF AGENDA**
4. **APPROVAL OF MINUTES:** Approval of June 17th, 2024 regular meeting minutes.
5. **COMMUNICATIONS:**
None.
6. **PUBLIC COMMENT:**
7. **UNFINISHED BUSINESS:**
 - a. None
8. **NEW BUSINESS:**
 - a. **Public Hearing: 643 Walker St. Conditional Use Permit**
 - b. **Action on Conditional Use Permit: 643 Walker St.**
 - c. **Action on site plans for 643 Walker St.**
9. **PUBLIC COMMENT:**
10. **UPDATES:**
11. **PLANNING COMMISSION COMMENTS:**
12. **ADJOURNMENT:**

**PLEASE BE COURTEOUS TO OTHERS
SILENCE ALL CELL PHONES & OTHER DEVICES PRIOR TO THE MEETING**

**CITY OF MT MORRIS
PLANNING COMMISSION
June 17th, 2024**

At 6:30 p.m., Chairperson Sara Black called the Planning Commission Meeting to Order.

PRESENT: Sara Black, Yusef Harrold, City Manager/Clerk Spencer Lewis, Mayor Sara Dubey, and Andrew Sorensen.

ABSENT: Melissa Neuwirth and Eric Calcut.

OTHERS: None.

ROLL CALL:

None.

APPROVAL OF AGENDA:

A motion was made by Mayor Sara Dubey, seconded by Yusef Harrold to approve the agenda.

All Ayes.

Motion Carried.

APPROVAL OF MINUTES:

A motion was made by City Manager/Clerk Spencer Lewis, seconded by Andrew Sorensen to approve the minutes of the regular meeting held on April 15th, 2024.

All ayes.

Motion carried.

COMMUNICATIONS:

None.

PUBLIC COMMENT:

None.

OLD BUSINESS:

None.

NEW BUSINESS:

a. Public Hearing: A request to rezone 11725 from C-R to C.

A motion was made by City Manager/Clerk Spencer Lewis, seconded by Mayor Sara Dubey to open the public hearing at 6:39 p.m.

All Ayes.

Motion Carried.

Bruce Calhoun, Creekwood Architecture – Bruce stated that they are here to rezone 11725 N. Saginaw from C-R “Commercial-Retail” to C “General Commercial”. It is .23 acres and they want to remove the building currently on the property and develop the property in a better aspect.

A motion was made by City Manager/Clerk Spencer Lewis, seconded by Mayor Sara Dubey to close the public hearing at 6:41 p.m.

All Ayes.

Motion Carried.

June 17th, 2024.

Page Three.

PUBLIC COMMENT:

None.

UPDATES:

None.

PLANNING COMMISSION COMMENTS:

Yusef Harrold stated it was a difficult meeting and decision, and he would like to see a new business here, but not sure if this is the right avenue.

Andrew Sorensen stated that he agrees as well, it was a tough decision tonight.

Mayor Sara Dubey stated that she hopes that we do get a new business in that area, and that she hopes it goes further.

ADJOURNMENT:

With no further business, the meeting was adjourned at **7:23 p.m.**

Spencer Lewis, City Clerk

July - Planning meeting.

CITY OF MT. MORRIS
CONDITIONAL USE PERMIT APPLICATION.

NAME	STAR BUDZ PROVISIONING CENTER LLC		
ADDRESS	3789 FAWN DRIVE, ROCHESTER, MI 48306		
PHONE (home)	2486524855	PHONE (work)	810-533-3660
Tax Parcel # of Lot	643 Walker St. PID#5712528033	Zoning District	commercial

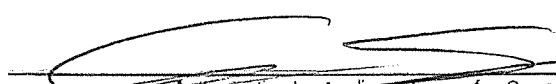
Proposed Use of Parcel

adult use marijuana retailer, processor and grow facility

Attach a site plan meeting the requirements of Section 7.03 of the Zoning Ordinance.

An additional thirteen (13) copies of the site plan to be provided to the City Clerk.

Sent to Consultant	Yes	No	Estimated Cost of Consultant	\$
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 Authorization by Applicant to pay for Consultant Review

- Please explain how the proposed conditional use shall be of such location, size and character that it will be in harmony with the appropriate and orderly development of the surrounding neighborhood and/or vicinity and applicable regulations of the zoning district in which it is being proposed.

STAR BUDZ PROVISIONING CENTER LLC PLANS TO DEVELOP A STATE OF THE ART FACILITY THAT WILL BE AN ASSET TO THE COMMUNITY. IT WILL BRING JOBS AND RENOVATE A PROPERTY THAT HAS BEEN VACANT AND UNUSED FOR SEVERAL YEARS. ALL DEVELOPMENT WILL COMPLY WITH STATE OF MICHIGAN AND CITY OF MOUNT MORRIS LAWS AND ORDINANCES INCLUDING BUILDING AND SAFETY CODES.
- Please explain how the proposed use shall be of a nature that will make vehicular and pedestrian traffic no more hazardous than is normal for the district involved.

THE PROPOSED FACILITY IS ACCESSIBLE FROM BOTH MOUNT MORRIS ROAD AND FROM WALKER ROAD. COMMERCIAL TRAFFIC WILL NOT BE ADVERSELY IMPACTED GIVEN THESE TWO ACCESS POINTS. THE PROPERTY HAS AMPLE PARKING TO ACCOMMODATE THE PLANNED BUSINESS OPERATIONS.
- Please explain how the proposed use shall be designed so the location, size intensity, site layout and periods of operation do not cause any possible nuisance (such as dust, noise, fumes, vibration, smoke or lights) emanating from there from which might be noxious to the occupants of any other nearby permitted uses.

NO NUISANCE SHALL BE CREATED BY THE PROPOSED FACILITY AS ALL OPERATIONS ARE MAINTAINED IN THE FACILITY. THE PROPOSED FACILITY WILL BE DESIGNED WITH ADEQUATE VENTILATION AND ODOR CONTROL SYSTEMS TO CONTROL ODORS, IF ANY.
- Please explain how the conditional use permit, if granted, will be such that the proposed location and height of buildings or structures and location, nature and height of walls, fences and landscaping will not interfere with or discourage the appropriate development and use of adjacent land and buildings or unreasonably affect their value.

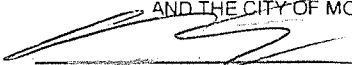
THE PROPOSED FACILITY WILL COMPLY WITH ALL STATE OF MICHIGAN AND CITY OF MOUNT MORRIS LAWS, CODES AND ORDINANCES. THE FACILITY WILL BE A STATE OF THE ART FACILITY THAT THE CITY OF MOUNT MORRIS CAN BE PROUD OF. THIS WILL ATTRACT DEVELOPMENT NEAR THE FACILITY AND THE PROPOSED FACILITY WILL ALSO PROVIDE JOBS TO MEMBERS OF THE COMMUNITY.

5. Will the conditional use place demands on public services and facilities in excess of current capacity? If yes, explain _____

~~THERE SHOULD BE NO INCREASED DEMANDS ON PUBLIC SERVICES AND FACILITIES FROM THE PROPOSED USE, OTHER THAN SOME INCREASED ELECTRICAL SERVICES THAT MAY BE REQUIRED BY THE PROPOSED CULTIVATION FACILITY.~~

6. Will the proposed use be designed, located, planned and operated so that the public health, safety and welfare will be protected? Please explain. YES.

~~THE PROPOSED FACILITY WILL BE DESIGNED AND OPERATED WITH PUBLIC HEALTH SAFETY AND WELFARE IN MIND. THE PROPOSED FACILITY WILL HAVE AUDIBLE ALARMS, SILENT ALARMS AND VIDEO SURVEILLANCE AND SECURITY SYSTEMS TO ENSURE SAFETY NOT ONLY FOR THE FACILITY ITSELF BUT THE CAMERAS WILL ALSO PROVIDE SOME SECURITY FOR THE SURROUNDING AREA. NEVER SELL PRODUCTS TO ANYONE UNDER THE AGE OF 21 AND SHALL COMPLY WITH ALL LAWS OF THE STATE OF MICHIGAN AND THE CITY OF MOUNT MORRIS.~~

 5-7-24 Application Fee \$300.00 BDINV 1567
Applicant's Signature _____ Date _____
STAR BUDZ PROVISIONING CENTER LLC
By: Samir Shango, Manager

This conditional use permit application was reviewed by the City of Mt. Morris Planning Commission at a meeting on _____ The Planning Commission voted to:

- Approve Conditional Use Permit
- Disapprove Conditional Use Permit

City of Mt. Morris Planning Commission Secretary

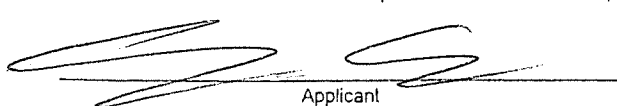
This site plan was reviewed by the City of Mt. Morris Planning Commission at a meeting on _____ The Planning Commission voted to:

- Approve Site Plan
- Disapprove Site Plan

City of Mt. Morris Planning Commission Secretary

An approved Conditional Use Permit consists of this completed form, a copy of the minutes of the meeting at which the Conditional Use Permit was approved, including any conditions included in the approval, a copy of the site plan with any changes required by the Planning Commission noted on the plan.

I confirm that I have received a copy of the approved conditional use permit and site plan including the minutes of the meeting and I am aware of the conditions placed on this site plan approval.

 5-7-24
Applicant _____ Date _____

Date of Public Hearing _____

Date of Publication of Public Hearing Notice _____

Attach copy of list of owners to whom notice of public hearing was mailed.

**CITY OF MT MORRIS
PLANNING COMMISSION
November 29th, 2021**

At 6:30 p.m., Vice Chairperson Marc Gauze called the Planning Commission Meeting to order.

PRESENT: Marc Gauze, Chris Vogt, Yusef Harrold, Sarah Young, Andrew Sorensen, City Manager/Treasurer Vicki Corlew and Mayor Jeffrey Roth.

ABSENT: Sara Black, and Kenneth Andrews.

OTHERS: City Clerk Spencer Lewis and DPW Superintendent Paul Zumbach.

ROLL CALL:

None.

APPROVAL OF AGENDA:

A motion was made by Mayor Jeff Roth, seconded by Chris Vogt to approve the agenda.

All Ayes

Motion carried.

APPROVAL OF MINUTES:

A motion was made by Chris Vogt, seconded by Sarah Young to approve the regular meeting minutes from October 18th, 2021.

All Ayes

Motion carried.

COMMUNICATIONS:

None.

PUBLIC COMMENT:

None.

UNFINISHED BUSINESS:

None.

NEW BUSINESS:

a. Public Hearing: 643 Walker St. & 630 W. Mt. Morris St. Conditional Use Permit

A motion was made by Mayor Jeff Roth, seconded by Chris Vogt to open the public hearing for 643 Walker St. & 630 W. Mt. Morris St. Conditional Use Permit at 6:32 p.m.

All Ayes.

Motion Carried.

A motion was made by City Manager/Treasurer Vicki Corlew, seconded by Mayor Jeff Roth to close the public hearing for 643 Walker St. & 630 W. Mt. Morris St. Conditional Use Permit at 6:34 p.m.

All Ayes.

Motion Carried.

b. Action on 643 Walker St. & 630 W. Mt. Morris St. Conditional Use Permit

Jason Ball from Rowe was present to review the conditional use permit process with the planning commission members.

A motion was made by Chris Vogt, seconded by Marc Gauze to approve the conditional use application from Star Budz Provisioning Center LLC for the property located at 643 Walker & 630 W. Mt. Morris St. based on

PROJECT:
 PROPOSED DISPENSAR V PLAZA
 PROPOSED DISPENSAR V PLAZA
 PROPOSED DISPENSAR V PLAZA
 PROPOSED DISPENSAR V PLAZA

PROJECT:
 SAVER SIMAKO
 5100 S. 10TH AVE.
 CHICAGO, IL 60617
 312.467.1000

LOCATION:
 630 V. NORTH AVE. ST.
 CHICAGO, ILLINOIS
 60642

A & M CONSULTANTS
 835 W. NORTH ST.
 CHICAGO, IL 60610
 P: (312) 542-0022
 F: (312) 551-0022

DESIGNED BY:
 J.C.
 M.A.

APPROVED BY:
 ADRIAN A. SAATHI

SUBMITTALS

REVISIONS:

PROJECT NO.
 09/24/2021

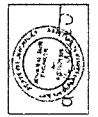
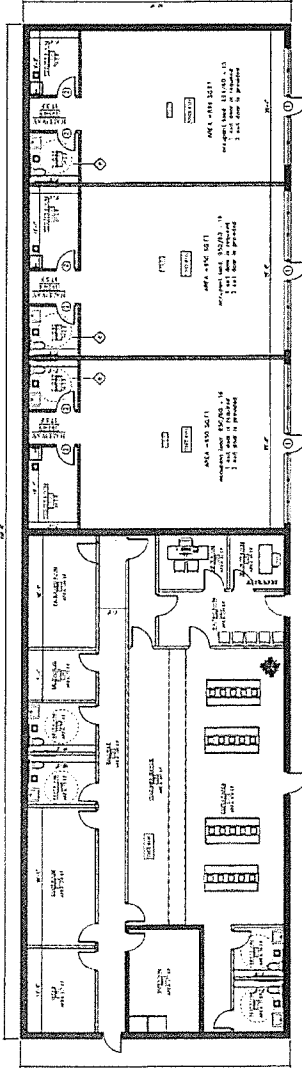
DATE:
 09/24/2021

SCALE:
 AS NOTED

SHEET TITLE:
 1000 PLAN

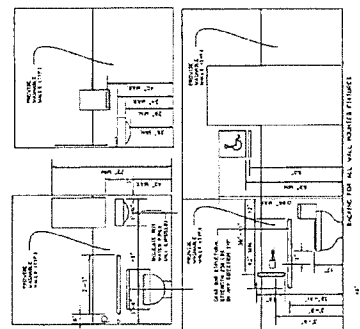
SCALE:
 A-02

SEAL:

PROPOSED DISPENSAR V PLAZA FLOOR PLAN
 DATE: 09/24/21

LEGEND:
 [Symbol] 1000 FLOOR PLAN
 [Symbol] 1000 FLOOR PLAN



NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	CONCRETE	100	YD	100.00	10000.00
2	STEEL	50	TON	200.00	10000.00
3	BRICK	1000	1000	1.00	1000.00
4	GLASS	100	SQ FT	10.00	1000.00
5	PAINT	100	GA	10.00	1000.00
6	ROOFING	100	SQ FT	10.00	1000.00
7	MECHANICAL	100	HR	10.00	1000.00
8	ELECTRICAL	100	HR	10.00	1000.00
9	PLUMBING	100	HR	10.00	1000.00
10	LANDSCAPE	100	SQ FT	10.00	1000.00

NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	CONCRETE	100	YD	100.00	10000.00
2	STEEL	50	TON	200.00	10000.00
3	BRICK	1000	1000	1.00	1000.00
4	GLASS	100	SQ FT	10.00	1000.00
5	PAINT	100	GA	10.00	1000.00
6	ROOFING	100	SQ FT	10.00	1000.00
7	MECHANICAL	100	HR	10.00	1000.00
8	ELECTRICAL	100	HR	10.00	1000.00
9	PLUMBING	100	HR	10.00	1000.00
10	LANDSCAPE	100	SQ FT	10.00	1000.00

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 IBC. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 IBC. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 IBC.

PROJECT
 GROW BUILDING
 GROW BUILDING
 FROM RECEPTION AND
 AFFLUENT SPACES
 BUILDING

PROJECT
 SHAW SANCHEZ
 3144 BUDZ PROVISIONING
 10000 BUDZ PROVISIONING
 4411 WALKER ST / 633 DA
 MORRIS RD
 WARREN, MICHIGAN
 48093

LOCATION
 10000 BUDZ PROVISIONING
 4411 WALKER ST / 633 DA
 MORRIS RD
 WARREN, MICHIGAN
 48093

**A & M
 CONSULTANTS**
 835 WASHINGTON ST.
 SUITE 10-200
 GARRISON, MI 48126
 PH (313) 582-0322
 FAX (313) 582-0028

DRAWN BY:
 S. C.
 (M.A.)
 APPROVED BY:
 ADNAN AL-SAMI

SUBMITTALS


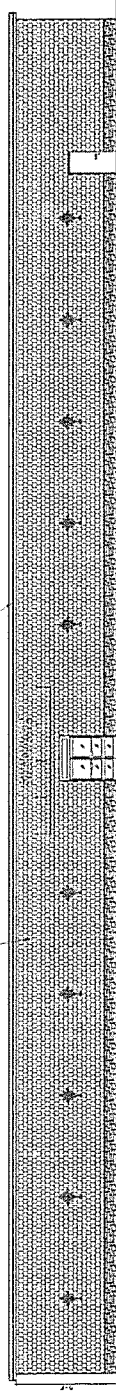
REVISIONS

11/18/2021
PROPOSAL NO.

DATE
 08/18/2021
SCALE
 NOTED
NOTED
 SHELL HULL
 GROW BUILDING PROPOSED
 HULL PART

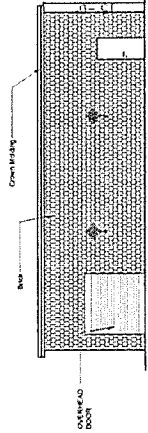
A-03

SEAL

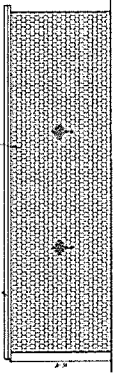



PROPOSED GROW BUILDING WEST ELEVATION
 SCALE 1/8"=1'-0"

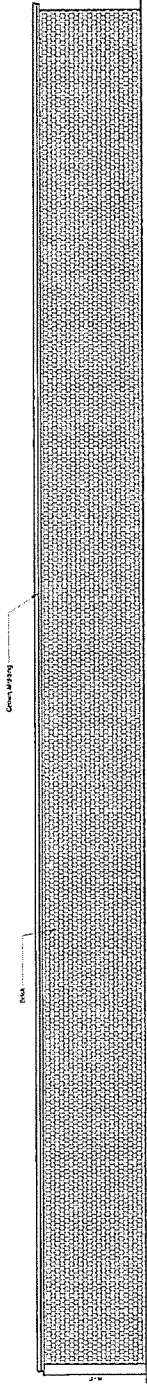
SCISS NOTE:
 ALL NEW SCISS REQUIRED SEPARATE PERMITS



PROPOSED GROW BUILDING NORTH ELEVATION
 SCALE 1/8"=1'-0"



PROPOSED GROW BUILDING SOUTH ELEVATION
 SCALE 1/8"=1'-0"



PROPOSED GROW BUILDING EAST ELEVATION
 SCALE 1/8"=1'-0"

PROJECT:
 - PROPOSED
 GREENING BUILDING
 - MECH. EQUIPMENT AND
 MECHANICAL SPACES
 BUILDING

PROJECT:
 SUKH SHAWAR
 2185 BUD PROVISIONS
 813 W. WALTON ST./A32 (H)
 CHICAGO, IL 60612
 312.467.8800, 467.4241
 467.4243

LOCATION:
 813 W. WALTON ST., A
 632 W. WALTON AVE/31
 CHICAGO, IL 60612

A & M CONSULTANTS
 833 WASHINGTON ST.
 SUITE 8-280
 DEARBORN, MI 48126
 PH: (313) 582-0022
 FAX: (313) 582-0024

DRAWN BY:
 S.A.
 M.A.

APPROVED BY:
 ADNAN A. - SAAT

SUBMITTALS

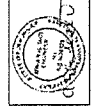
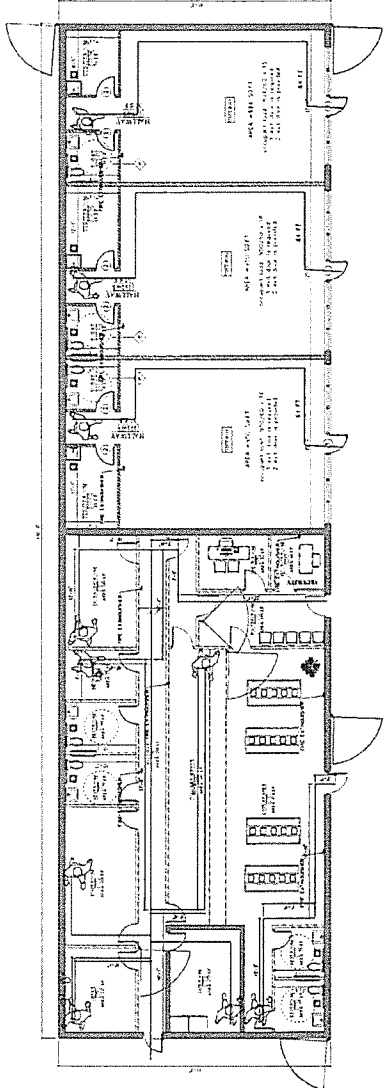
REVISIONS:

11/18/2021
 PROJECT NO.

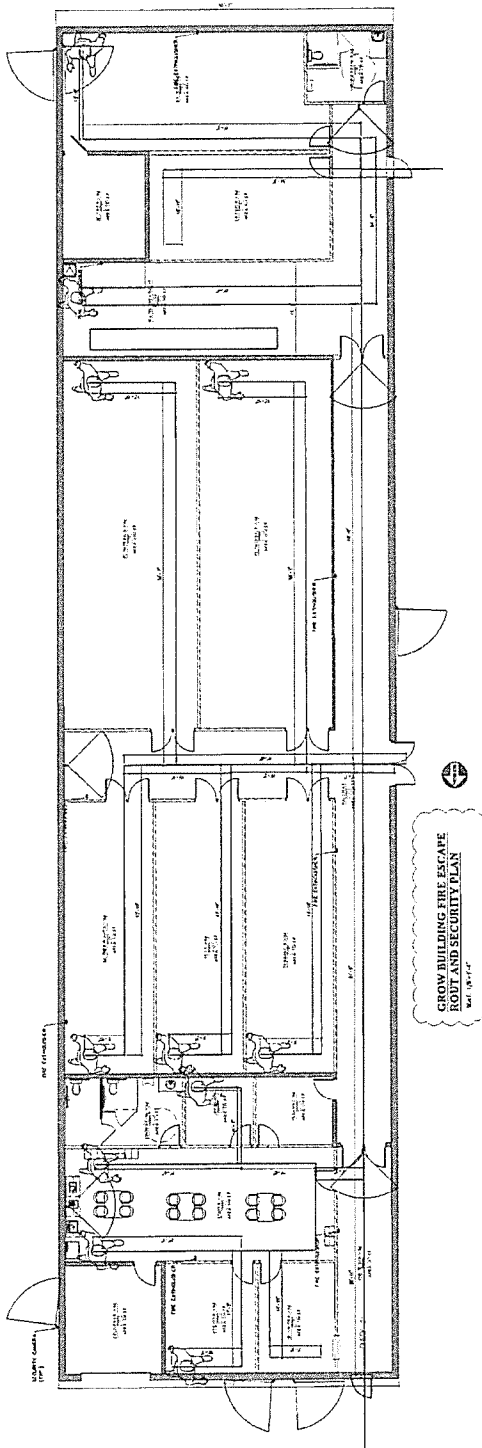
DATE: 09/28/2021
 SCALE: NOTED
 SHEET TITLE: PROPOSED FIRE ESCAPE
 PART: FLOOR LAYOUT PLAN

A-05

SEAL

DISPENSARY/PLAZA FIRE ESCAPE
 ROUTE AND SECURITY PLAN
 NO. 10474



GROW BUILDING FIRE ESCAPE
 ROUTE AND SECURITY PLAN
 NO. 10474

PROJECT:
 -PROP. DISPENSARY AND GROWING BUILDING
 -PROP. DISPENSARY AND GROWING BUILDING

PROJECT:
 STAR BUDY PROPOSED CENTER
 CENTER 51/600 HT
 ADDRESS RD
 HT MORRIS, MICHIGAN 48448

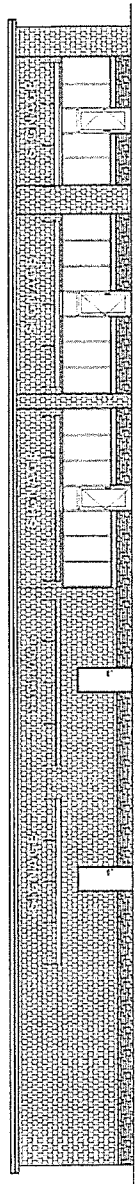
LOCATION:
 643 Waverly St. # 61
 Mt. Morris, MI 48458

A & M CONSULTANTS
 833 WAGON ST.
 SUITE B-190
 DEARBORN, MI 48126
 PH (313) 587-0023
 FAX (313) 587-0029

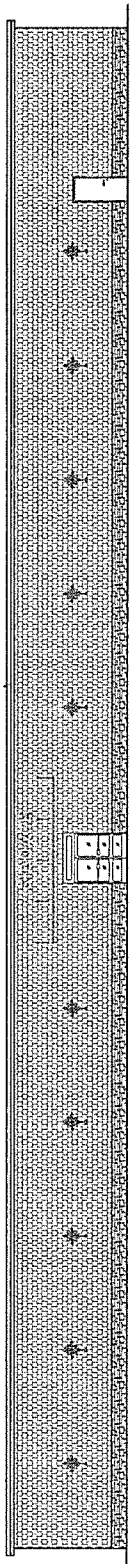
DESIGNED BY:
 S.E.

APPROVED BY:
 ADMM AL - SAATI

SUBMITTALS	
REVISIONS:	
DATE	11/16/2021
BY	EF/SC/EL/JO
DATE	10/13/2021
BY	EF/SC/EL/JO
DATE	
BY	
SHEET TITLE	COVER SHEET
SCALE	



PROPOSED DISPENSARY/ PLAZA FRONT VIEW



PROPOSED GROW BUILDING FRONT VIEW

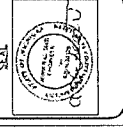
MICHIGAN BUILDING CODE 2015	
USE GROUP:	1ST BUILDING (RETAIL) - M (MERCANTILE) 2ND BUILDING (OFFICE) - B (BUSINESS)
CONSTRUCTION TYPE:	II-B
SPRINKLER SYSTEM:	N/A
TOTAL GROWING BUILDING AREA	10,000 SQ. FT.
TOTAL RETAIL BUILDING AREA	6,000 SQ. FT.
OCCUPANT LOAD:	
RETAIL SPACES/PLAZA AREAS:	
TOTAL RETAIL SPACES AREA:	6,000 SQ. FT.
TOTAL OCCUPANT LOAD:	6,000/60= 100
EGRESS REQUIRED:	1 EGRESS REQUIRED FOR EACH SPACE
EGRESS PROVIDED:	1 OR MORE EGRESS PROVIDED FOR EACH SPACE
GROWING BUILDING AREA:	
TOTAL AREA:	10,000 SQ. FT.
OCCUPANT LOAD:	= 30
EGRESS REQUIRED:	2 EGRESS REQUIRED (1-500)
EGRESS PROVIDED:	3 EGRESS PROVIDED
EXIT TRAVEL DISTANCE:	< 200' - NO SPARKLER SYSTEM REQUIRED

PROPERTY DESCRIPTION: TEL SURVEY SHEET	
ZONING: C - GENERAL BUSINESS DISTRICTS	
GOVERNING CODE: MICHIGAN BUILDING CODE 2015, AND HT MORRIS ZONING ORDINANCE	
SETBACKS:	
FRONT: 805 FT (N) VARIANCE REQUIRED 18 FT (N) VARIANCE REQUIRED	DISPENSARY/PLAZA 18 FT (N) VARIANCE REQUIRED
REAR: 48 FT (S)	130 FT (S)
LEFT: 0 FT (EAST)	0 FT (WEST) VARIANCE REQUIRED
LOT COVERAGE:	
TOTAL LOT AREA	= 13,483 SQ. FT. = 1,686 SQ. YDS
PROPOSED LANDSCAPE AREA	= 1,087 SQ. FT.
PER SINGLE PARKING	PROPOSED 91 SQ. YDS
SEE SHEET A-11 AND A-12 FOR THE DETAIL REQUIREMENTS	
TOTAL UNIMPOSED	21 (INCLUDING 4 BARRIERS PER PARADE DR. USE)

SHEET	INDEX
COVER SHEET	
SURVEY	
SP-01	EXISTING AND PROPOSED SITE PLAN
SP-02	SITE LIGHTING PLAN
SP-03	PROPOSED CIRCULATION PLAN
A-01	GROW BUILDING PROPOSED FLOOR PLAN
A-02	DISPENSARY/PLAZA BUILDING PROPOSED FLOOR PLAN
A-03	GROW BUILDING PROPOSED ELEVATIONS
A-04	DISPENSARY/PLAZA BUILDING PROPOSED ELEVATIONS
A-05	PROPOSED FIRE ESCAPE ROOF AND SECURITY PLAN
C-01	GRADING /PAVING PLAN
C-02	DRAINAGE AND UTILITY PLAN

CODES CURRENTLY IN EFFECT:

- 2015 MICHIGAN BUILDING CODE, MBC 2015
- 2015 MICHIGAN MECHANICAL CODE IMC 2015
- 2015 MICHIGAN PLUMBING CODE MFC 2015
- 2017 NATIONAL ELECTRICAL CODE, N.E.C. 2017
- 2015 NFPA 101 LIFE SAFETY CODE
- ACCESSIBILITY: MICHIGAN BARRIER FREE DESIGN LAW, P.A. 1986 AS AMENDED AND THE 2009 ICC/ANSI A117.1 STANDARD AS REFERENCED FROM CHAPTER 11 OF THE 2017 MICHIGAN BUILDING CODE.





ROWE PROFESSIONAL SERVICES COMPANY

Large Firm Resources. Personal Attention.™

MEMORANDUM

TO: City of Mt. Morris Planning Commission
FROM: Jason Ball, Senior Planner
Doug Skylis, Senior Project Manager
SUBJECT: 643 Walker Street and 630 West Mt. Morris Street
Conditional Use Application Review #2
DATE: November 23, 2021

This is a second review of an application to establish an adult use marijuana establishment on two separate parcels located at 643 Walker Street and 630 West Mt. Morris Street, parcel numbers 57-125-28-015 and 57-125-28-014. Ordinance Number 2021-03 requires an application for a Conditional Use Permit and submission for Site Plan Review for all marijuana establishments. Analyses of the request's compliance with City of Mt. Morris Zoning Ordinance provisions related to Conditional Uses, Site Plan Review, the regulation of marijuana establishments, and engineering and design components were completed on an original set of drawings submitted on October 13, 2021, for which ROWE provided a review letter on November 1, 2021, and a second set of drawings submitted November 19, 2021. Following is an update to the original review letter, with comments that were addressed by the applicant in the second set of drawings ~~struck~~ and comments that were not addressed noted in **bold**.

In summary, the site plan still lacks some information related to engineering components and presents potential issues due to the lack of setbacks on the western property line, proposed on-site lighting, and compliance with the City of Mt. Morris Marijuana Ordinance. In addition to the information noted below, the survey sheet notes a potential easement running through the site owned by Consumers Energy. The applicant should confirm the status of the easement and ability to build on the site prior to proceeding.

Missing Information

- **Section 7.03.J:** The site plan does not include any information regarding the dimensions, type, and lighting of proposed signs. **Comment has not been addressed.**
- **Section 7.03.S:** No fire lanes are indicated on the site plan. **Comment has not been addressed.**

Marijuana Ordinance Compliance

- **Section 9.20.A.7:** Licenses are not permitted on properties with "other approved uses". Applicant's site plan indicates the provision of "mercantile spaces" to be used for general retail or commercial uses. Applicant indicated compliance with this provision on its Adult Use Marijuana Establishment License Application, but the site plan appears to contradict the application. **Comment has not been addressed.**

Zoning Ordinance Compliance

- ~~Section 5.04.A.3.a: The parking lot abutting the western lot line is required to have a 10-foot setback because the adjacent district is multi-family residential. The applicant will need to re-design the parking area or seek a variance due to the unique dimensions of the site.~~
- ~~Section 5.04.A.4: A suitable screening wall is required on the western property line, as it adjoins property zoned for residential use. This could be addressed through construction of a wall or fence between 4 and 6 feet high, depending on planning commission approval. Screening wall only needs to screen the parking area, not the entire building.~~
- ~~Section 5.04.A.8: The width and depth of parking spaces is not indicated on the site plan. Ninety-degree parking spaces are required to be 20 feet deep and 10 feet wide.~~
- ~~Section 5.04.A.10: The site plan does not indicate the location of any fire lanes or other access for emergency vehicles. Comment has not been addressed.~~
- ~~Section 5.04.B.1: The site plan does not indicate the location of any loading spaces or areas designated for loading or unloading. With the size of the proposed buildings, a loading space is not necessarily required by the ordinance, but it would seem to be necessary.~~
- ~~Section 5.05.A: The site plan does not indicate the width or depth of parking spaces.~~
- ~~Section 5.05.D: The site plan provides limited information regarding the proposed location of light fixtures. However, it does not indicate the type or height of light poles or the direction of lighting. Additional photometric detail would be helpful to ensure no lighting will affect neighboring properties. Additional lighting detail has been provided, but the height of light posts and direction of lighting is not shown on the plan.~~
- ~~Section 6.14 & 6.15: The required setback on the western property line is 50 feet due to its location adjacent to a residential zoning district. The current site plan has no setback on the property line. Additionally, the required setback on the northern property line is the average of properties within 300 feet, which is approximately 30 feet. The proposed site plan setback is 16.2 feet. The applicant will need to revise the site plan or seek a variance due to the unique shape of the property to meet setback requirements. Comment has not been addressed.~~

Engineering Review

Cover Sheet:

- ~~None of the plan sheets (with the exception of the survey sheet) were sealed by a licensed professional. Most sheets have now been sealed by a licensed professional.~~
- ~~For clarity, the note under the center box titled Michigan Building Code 2015 should be revised to change the word "sparkler" to "sprinkler" if that is the intent. The same note appears on sheet SP-1 and should also be revised. Comment has not been addressed.~~
- ~~Parking calculations should also include the number of barrier-free spaces required and provided. Parking calculations have been revised.~~

Sheet SP-1:

- ~~The proposed concrete approach onto Morris Street shall be a Michigan Department of Transportation (MDOT) Type "M" opening where the gutter pan is constructed through the drive opening. Comment has not been addressed.~~
- ~~ROWE questions the practicality of constructing the proposed buildings directly on the property line. How will the buildings be constructed without using the adjacent property? Comment has not been addressed.~~

- Sidewalk is required to be removed and replaced for the proposed drive approach. Additionally, the sidewalk shall be constructed through the drive approach and shall meet all Americans with Disabilities Act (ADA) requirements. **Comment has not been addressed.**
- ~~The applicant is proposing sidewalk along both buildings and proposed parking against it. Where parking abuts sidewalk, the minimum width of the sidewalk shall be 7 feet to allow for vehicle overhang. Proposed walk now labeled as 7 feet wide.~~
- The city will need to determine if sidewalk is required along the Walker Street frontage.
- The plan indicates the existing approach on Walker Street will be closed. This drive approach shall be removed, and the curb and gutter restored across the opening. **Comment has not been addressed.**
- ~~The city requires the parking lot to have curb and gutter. Curb lines have been added.~~
- ~~This plan is deficient on dimensions indicating distances between parking and building areas, parking space sizes, and general layout data. Dimensions have been added.~~
- ~~ROWE questions why the applicant is proposing to cover nearly the entire site with pavement. It would appear vehicle circulation could be better defined resulting in less pavement/ impervious surface and creating more opportunities to promote storm water infiltration areas resulting in less storm water runoff. Proposed pavement area has been reduced.~~
- ~~The dumpster enclosure — Front elevation indicates a metal gate for the front. ROWE questions how a “metal” gate will provide adequate screening. Additionally, this detail shows “split face block to match building”, yet the adjacent screen wall elevation indicates the walls will be “formed integral brick patterned conc. Face”. The details should be revised to resolve the discrepancies. —Detail has been revised.~~
- The proposed barrier-free parking spaces also require appropriate signs. Sign locations and details shall be provided. **Comment has not been addressed.**
- It appears there are multiple doorways in each of the proposed buildings which open outward onto the proposed sidewalk. ROWE questions if the proposed sidewalk should have stoops with frost-free footings to prevent the sidewalk from heaving and interfering with the doors. **Comment has not been addressed.**

Sheet C-1:

- ~~The approach detail refers to rebar per Wayne County detail, which needs to be revised. Additionally, this detail appears to assume the existing pavement in the road is concrete which may not be the case for this project. —Detail has been revised.~~
- ~~Regarding the integral curb and walk detail, ROWE suggests expansion paper be placed between the proposed concrete pavement and the vertical portion of the proposed curb. Comment is a suggestion and not a requirement.~~
- ~~There is a detail for parking lot curb and gutter; however, based on the line work, it appears that only portions of the site will have curb and gutter. —The entire site shall have curb and gutter. Proposed curb lines have been added to the site plan.~~
- ~~The curb detail calls for 4 inches of MDOT Class II material. Having sand under the proposed curb will be difficult to construct when the pavement is calling for aggregate base. —The applicant should consider changing the proposed “cushion” material to 21AA limestone to be consistent with the pavement. Details have been revised to show proposed 21AA.~~
- ~~Since the applicant is proposing concrete pavement, ROWE questions if the curb and gutter will be integral with the proposed pavement. Since curb details show separate curb and gutter, ROWE assumes the curb and gutter will not be integral with the proposed concrete pavement.~~

- The proposed grading will be reviewed during the engineering plan review phase. The applicant will need to provide additional existing and proposed grades around the perimeter so we can confirm no water will be draining onto the adjacent properties. **To be addressed with engineering plan review.**
- The applicant will be required to provide storm water detention in accordance with the Genesee County Drain Commissioner's standards. Calculations will need to be submitted to confirm the requirements are being met. **To be addressed with engineering plan review.**

Sheet C-2:

- ~~Regarding the proposed sanitary sewer service leads, the applicant will be required to construct sampling manholes on each service lead. The manholes should be located in the right-of-way (ROW) of Walker Street if possible. Sampling manholes have been added.~~
- ~~Additional cleanouts will be required along the proposed sanitary sewer leads at intervals not exceeding 90 feet. Additional cleanouts have been added.~~
- The plans will also need to address how Walker Street will be repaired when constructing the service leads. Traffic control will also need to be addressed for the construction within a street ROW. **Comment has not been addressed.**
- The applicant will need to provide proposed water usage flow data and confirm the proposed water and sewer services are sized appropriately. **Comment has not been addressed.**
- The applicant is proposing to use the existing water service lead and extend to one of the proposed buildings. The Contractor will need to confirm if this lead is copper and if not, it will need to be replaced out to the water main. **Comment has not been addressed.**
- The existing water main on Walker Street is only 4 inches in diameter. The applicant should confirm with the City's Department of Public Works (DPW) that the available flow and pressure from this main is adequate for their intended use. **Comment has not been addressed.**
- ~~The proposed 2-inch diameter water service will require a curb stop and box to be located within the ROW of Walker Street. It appears a water shut off has been added to the plan.~~

Sheet SP-1a (sheet is now titled SP-2):

- This plan shows catalog data for two light options; however, it does not indicate how tall the proposed poles will be. Additionally, the applicant shall provide a photometric plan indicating the foot-candles of the proposed lights. **Comment has not been addressed.** ~~Light spillage off this site will need to be minimized.~~ Note has been added regarding shielding lights.
- This plan is missing a legend indicating what type of light is being proposed at various locations. **Comment has not been addressed.**
- ROWE questions the proposed use of metal halide lights when LED lights have been the industry standard. **Comment has not been addressed.**

Sheet A-05:

- ~~Clearly these are two different buildings yet the titles under each of them are the same. This needs to be corrected to confirm which building the title apply towards.~~ Building title has been revised.
- The applicant will be required to submit for and obtain approval from Genesee County Drain Commissioner's office for storm water drainage, water, and sanitary sewer services. **To be addressed with engineering plan review.**

City of Mt. Morris Planning Commission
November 23, 2021
Page 5

Standards for Approval

Comments regarding the standards for approval of a Conditional Use and Site Plan, along with draft motion language will be included within final checklists provided to the planning commission for review.

We hope this analysis assists the city and applicant and provides for an expedited review process.

Attachments: Conditional Use Checklist
Marijuana Facility Checklist
Site Plan Review Checklist
643 Walker & 630 Mt. Morris Map

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CITY OF MT. MORRIS

CONDITIONAL USE CHECKLIST

Applicant:	Star Budz Provisioning Center LLC
Property Address:	643 Walker & 630 W. Mount Morris St.
Parcel ID:	57-12528015 & 57-12528014
Planning Commission Meeting Date	November 29, 2021

GENERAL STANDARDS FOR APPROVAL OF CONDITIONAL USE SECTION 8.03

The Planning Commission shall review the particular circumstances of the conditional use request under consideration in terms of the following standards, and shall approve a conditional use request only upon a finding of compliance with each of the following standards, as well as applicable standards established elsewhere in this ordinance.

Standard	Does Site Meet Requirements		
	Yes	No	N/A
1. The proposed conditional use shall be of such location, size and character that it will be in harmony with the appropriate and orderly development of the surrounding neighborhood and/or vicinity and applicable regulations of the zoning district in which it is to be located.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

COMMENTS/FINDINGS OF FACT:

- The site is zoned C general business
- The proposed site plan requires combining two existing parcels into a single parcel.
- The site plan indicates a 10,000 square-foot grow building along with a 3,000 square-foot dispensary and 3,000 square feet for "mercantile spaces". The application submitted was for a retail, processing, and grow operation. It is unclear where the processing operation would occur. Applicant has indicated that the mercantile spaces would be general business spaces for lease, not necessarily associated with a marijuana use.
- The proposed new parcel would be considered at "Through Lot" meaning both sides of the lot facing the street would be considered front yards and must conform with front yard setback requirements.
 - The front yard setback is the average of buildings within 300'. The three buildings within 300' of the northern front lot line have each have approximate front setbacks of 30'.
 - No buildings are within 300' of the southern lot line, making the required setback 50'.
- The side lot setback to the west is required to be 50' due to the adjacent residential zoning district. The site plan proposes a 0' setback.
- The revised site plan provide effective buffering, screening, and landscaping.

Applicants Comments:	Planning Consultant Comments: The location of the site is a transitional area between the City of Mt. Morris' main commercial district and adjacent residential areas. The proposed layout of the site will require two variance from setback requirements by the Zoning Board of Appeals.	Planning Commission Comments:
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Standard			Does Site Meet Requirements		
			Yes	No	N/A
<p>2. The proposed use shall be of a nature that will make vehicular and pedestrian traffic no more hazardous than is normal for the district involved, taking into consideration vehicular turning movements in relation to routes of traffic flow, proximity and relationship to intersections, adequacy of sight distances, location and access of off-street parking and provisions for pedestrian traffic, with particular attention to minimizing child-vehicle interfacing.</p>					
<p>COMMENTS/FINDINGS OF FACT:</p> <ul style="list-style-type: none"> Both proposed driveways are less than 500' from Saginaw St., from which the majority of traffic will be generated. There is a newly proposed sign near the northern driveway into the property, but the site plan does not provide any detail regarding the sign's height or structure. 					
Applicants Comments:	<p>Planning Consultant Comments: The addition of the use is consistent with commercial and public/institutional uses in close proximity. The proposed sign on the northern portion of the property may pose a potential hazard. Additional detail regarding the sign's proposed structure and size should be provided.</p>	Planning Commission Comments:			
Standard			Does Site Meet Requirements		
			Yes	No	N/A
<p>3. The proposed use shall be designed as to the location, size intensity, site layout and periods of operation of any such proposed use to eliminate any possible nuisance emanating there from which might be noxious to the occupants of any other nearby permitted uses, whether by reason of dust, noise, fumes, vibration, smoke or lights.</p>					
<p>COMMENTS/FINDINGS OF FACT:</p> <ul style="list-style-type: none"> The applicant submitted detail odor control and operational plans to meet requirements for marijuana facilities in the City of Mt. Morris as well as to comply with state licensing requirements. The submitted lighting plan complies with ordinance standards but is very basic. 					
Applicants Comments:	<p>Planning Consultant Comments: The detail provided regarding odor control and hours of operation are adequate to meet ordinance standards. The lighting plan would benefit from additional detail regarding the type of lights to be located in particular areas, as well as the height of light poles.</p>	Planning Commission Comments:			

Standard			Does Site Meet Requirements		
			Yes	No	N/A
4. The proposed use shall be such that the proposed location and height of buildings or structures and location, nature and height of walls, fences and landscaping will not interfere with or discourage the appropriate development and use of adjacent land and buildings or unreasonably affect their value.					
COMMENTS/FINDINGS OF FACT:					
<ul style="list-style-type: none"> The site only borders property on the western lot line. The adjacent property has an uncommon shape due to a historical railroad easement that will make future development challenging. 					
Applicants Comments:	Planning Consultant Comments: The zoning ordinance requires screening for parking that borders a residential district, which the western lot line of the proposed development does. Proposed screening is adequate, but the proposed building has no setback from the lot line, which violates ordinance requirements.	Planning Commission Comments:			
Standard			Does Site Meet Requirements		
			Yes	No	N/A
5. The conditional use shall not place demands on public services and facilities in excess of current capacity.					
COMMENTS/FINDINGS OF FACT:					
<ul style="list-style-type: none"> No excessive demands on public services or facilities are anticipated. 					
Applicants Comments:	Planning Consultant Comments: N/A.	Planning Commission Comments:			
Standard			Does Site Meet Requirements		
			Yes	No	N/A
6. The proposed use shall be so designed, located, planned and operated that the public health, safety and welfare will be protected.					
COMMENTS/FINDINGS OF FACT:					
<ul style="list-style-type: none"> The applicant submitted detail odor control and operational plans to meet requirements for marijuana facilities in the City of Mt. Morris as well as to comply with state licensing requirements. 					
Applicants Comments:	Planning Consultant Comments: N/A	Planning Commission Comments:			

Standard		Does Site Meet Requirements		
		Yes	No	N/A
7. The proposed use shall not cause substantial injury to the value of other property in the neighborhood in which it is to be located and will not be detrimental to existing and/or permitted land uses in the zoning district.				
COMMENTS/FINDINGS OF FACT:				
<ul style="list-style-type: none"> The only immediately adjacent property is owned by the Genesee County Land Bank Authority. One residential property is in close proximity, properties across rights-of-way are commercial or public/institutional in nature. The site plan provides for parking lot islands, landscaping, or other features that enhance the overall appearance of the site. 				
Applicants Comments:	Planning Consultant Comments: The addition of landscaping features to the southern and northern boundaries of the property, while maintaining vehicular circulation will help to maintain and enhance adjacent property values.	Planning Commission Comments:		

Sample Motion to Approve:

I make a motion to approve the requested conditional use at 643 Walker & 630 W. Mount Morris St. based on the following findings of fact:

- The proposed conditional use addresses Standard 1 because the proposed development and site design are in harmony with the surrounding neighborhood and applicable regulations of the C general business zoning district.
- The proposed conditional use addresses Standard 2 because parking area design and proposed vehicular movements will not provide any hazards greater than the rest of the district.
- The proposed conditional use addresses Standard 3 because proposed systems for odor control, lighting, and the hours of operation will eliminate potential nuisances.
- The proposed conditional use addresses Standard 4 because the location of buildings, landscaping, and other features will not discourage other uses or unreasonably affect their value.
- The proposed conditional use addresses Standard 5 because it will not place any excessive demands on public services or facilities.
- The proposed conditional use addresses Standard 6 because it will protect the public health, safety and welfare based on plans submitted by the applicant to meet standards for marijuana facilities.
- The proposed conditional use addresses Standard 7 because it provides adequate site design and features to prevent injury to other property in the neighborhood and will not be detrimental to existing or permitted land uses.

Further, in order to ensure compliance with these standards, the following conditions are part of my motion to approve:

- The applicant combines the two parcels included on the site plan into a single parcel.
- The applicant receives variances from the Zoning Board of Appeals from setback requirements in the C General Business District.
- The applicant removes the spaces currently listed as “mercantile spaces” on the site plan to conform with section 9.20.A.7 of the Zoning Ordinance.

Sample motion to disapprove:

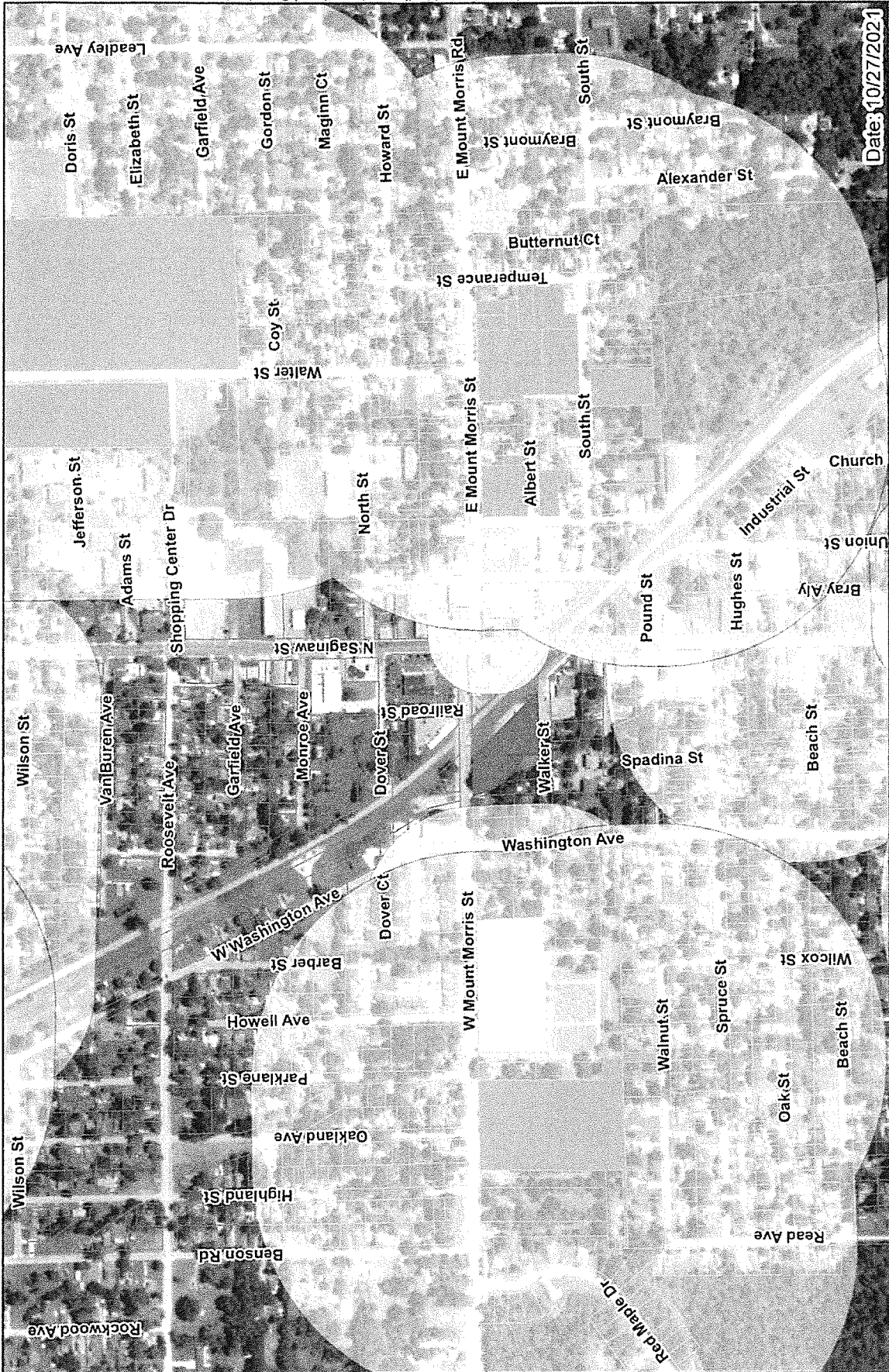
I make a motion to deny the requested conditional use based on the following findings of fact:

- It does not comply with Standard #1 based on failing to meet the required side yard setback and a lack consistency with the character of adjacent residentially-zoned property.
- It does not comply with Standard # _____ based on ...

Sample motion to postpone:

I make a motion to postpone the approval of the conditional use until the next regular meeting to provide the applicant with the opportunity to provide the following information.

- Information on _____ to verify compliance with _____
- Information on _____ to verify compliance with _____

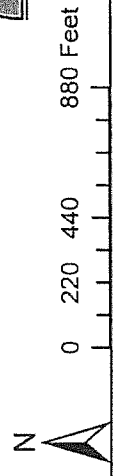


Date: 10/27/2021

ROWE PROFESSIONAL SERVICES COMPANY



540 S. Saginaw Street, Suite 200
Flint, MI 48502



Legend

	Subject Properties		Schools
	Loc. Buffer 2		Churches
	Parcels		Parks

CITY OF MT. MORRIS

SITE PLAN REVIEW CHECKLIST

Applicant	Star Budz Provisioning Center LLC
Address	643 Walker St. & 630 W. Mount Morris St.
Parcel ID	57-12-528-015 & 57-12-528-014
Planning Commission Meeting Date	November 29, 2021

- Application complete, signed, and submitted.
- Application fee paid.
- 14 copies of the site plan provided to the City Clerk delivered at least 10 working days prior to PC meeting.

SITE PLAN INFORMATIONAL REQUIREMENTS SECTION 7.03

<i>Requirement</i>	Does Site Plan Include this Information?			Comment
	Yes	No	N/A	
A. Statistical data including: Number of dwelling units, size of dwelling units (e.g., 1-bedroom, 2-bedrooms, 3-bedrooms), if any, and total gross acreage involved. In the case of mobile home parks, the size and location of each mobile home site shall be shown. In all other cases, the location, type, horsepower, fuel, dimensions, and other data of all machinery to be used on the proposed site (to determine compliance with minimum lot size, maximum lot coverage and density requirements and parking requirements)..	X			Sheets A-01 and A-02
B. The location of principal and accessory buildings on the lot and the relationship of each structure to another (to determine compliance with setback requirements).	X			Sheet SP-1
C. Vehicular traffic and pedestrian circulation features within and without the site (to determine compliance with traffic access standards including adequacy of access, conflicts between vehicles and pedestrians, turning movement conflicts between the site and other nearby driveways).	X			Sheet SP-1
D. The location and dimensions of all off-street parking areas including maneuvering lanes, service lanes, off-street loading spaces, and other service areas within the development (to determine compliance with parking requirements).	X			Sheet SP-1
E. The location, dimensions, and proposed use of all recreation areas, if any (to determine compliance with standards related to compatibility with adjacent areas).			X	No proposed recreation areas.
F. The location of all proposed landscaping, fences or walls (to determine compliance with screening and landscaping requirements).	X			Sheet SP-1
G. The height and dimensions of all structures (to determine compliance with maximum height and lot coverage requirements as well as minimum building size requirements (residential) where applicable).	X			Sheets SP-1, A-03, and A-04
H. Front, rear, and side elevation of any typical structure proposed for development.	X			Sheets A-03 and A-04

**SITE PLAN INFORMATIONAL REQUIREMENTS
SECTION 7.03**

<i>Requirement</i>	<i>Does Site Plan Include this Information?</i>			
	<i>Yes</i>	<i>No</i>	<i>N/A</i>	<i>Comment</i>
I. The location and capacity of private or public water, sanitary services and solid waste disposal facilities servicing the site (to ensure compliance with the standard requiring adequate water and sewer service, and to prevent overloading the city's water or sewer system).	X			Sheet C-2
J. The location, dimensions, type and lighting of all signs (to ensure compliance with sign requirements).		X		Two signs shown on site plan, but no dimensions or lighting are shown.
K. The location, intensity and orientation of all lights (to determine compliance with requirements regarding lighting being directed off adjacent premises).	X			Sheet SP-1a
L. Buildings within 50 feet of the boundary of the site (to determine compliance with any setback standards linked to structures on adjacent lots, or in the case of a conditional use permit, to determine suitability of the site for the proposed use based on proximity of incompatible uses).	X			Sheet SP-1
M. Location of any identified wetlands (to comply with standards relating to protection of natural features and/or compliance with local, state and federal laws).			X	No wetlands are located on the site.
N. Outdoor storage or activity areas (to comply with standards relating to outdoor storage of material or outdoor activities).			X	None proposed
O. Existing and proposed grades at two-foot intervals (to determine any minimum or maximum grade requirements, clear vision requirements and height requirements).	X			Sheet C-2
P. Cross section showing construction of drives and parking area (to comply with requirements regarding pavement surface and adequacy of base material).	X			Sheet C-1
Q. Floor plan showing existing and proposed uses (to verify gross vs. usable floor area and principal vs. accessory uses).	X			Sheets A-01 and A-02
R. Location of trash receptacles (to determine compliance with ordinance requirements regarding location and screening).	X			Sheet SP-1
S. Designation of fire lanes (to determine compliance with fire code requirements).		X		No fire lanes shown on site plans.
<i>The individual or body responsible for reviewing and approving a site plan may waive any of the requirements above either on an individual basis or by establishment of an administrative rule when the information is not needed to determine compliance of the site with the requirements of this appendix.</i>				

ARTICLE 3 GENERAL REQUIREMENTS

<i>Requirement</i>	<i>Does Site Plan Meet the Requirement?</i>			
	<i>Yes</i>	<i>No</i>	<i>N/A</i>	<i>Comment</i>
Sec. 3.09 Accessory Buildings				
A. Non-Residential Districts: Any part of a detached accessory building shall be at least fifty five (55) feet from any front lot line when the adjoining lot is located in a residential district.			X	
B. Residential Districts: No accessory building shall be erected in other than a side or rear yard. The garage or similar accessory building may be built up to within five (5) feet of the side and/or rear lot line; provided that such structure adjacent to such side or rear lot line is constructed to achieve the proper fire rating in compliance with the local building code. When the rear line of a corner lot abuts the side line of an adjoining lot in a residential district, no accessory building shall be within five (5) feet of such abutting lot line nor closer to the side street lot line than the setback of the principal building on the same adjoining lot. When the rear line of a corner lot abuts the rear line of any other lot or is directly across an alley therefrom, no accessory building shall be closer to the side street lot line than the setback of the principal building on the same lot.			X	
Sec. 3.10 Sight Distance. No obstruction to vision shall be permitted at the intersection of any street or road with another street or road or street or road junction between the heights of two feet and eight feet above centerline elevation of said streets or roads within the triangular area formed by the intersection of the street right-of-way lines and a line connecting two points which are located on those intersection right-of-way lines 25 feet from the point of intersection of the right-of-way lines.	X			Proposed driveways are an appropriate distance from other driveways and access the street effectively. Sheet SP-01.
Sec. 3.11 Lot Grades				
A. All structures shall be constructed or located with a ground elevation such as to provide a sloping grade to cause the surface drainage to flow away from the walls of such structures.	X			Sheet C-2.
B. Grades on any lot upon which new construction or earth movement is to be carried out shall be related to existing grades and drainage systems such as to provide adequate drainage and not jeopardize such existing drainage systems, and shall be approved by the zoning administrator and such other authorities having jurisdiction over such system.	X			Sheet C-2
Sec. 3.12 Curb Cuts and Driveways Curb cuts and driveways may be located only upon approval by the zoning administrator and such other county and state authorities as required by law; provided, however, such approval shall not be given where such curb cuts and driveways shall cause unreasonable increase in traffic hazards.	X			Sheet SP-1
Section 3.16 Private Roads			X	

ARTICLE 4 NONCONFORMING USES, STRUCTURES

Requirement	Does Site Plan Meet the Requirement?			Comment
	Yes	No	N/A	
Section 4.01 (A) Class A and B nonconforming uses			X	
Section 4.02 Nonconforming Structures			X	
Section 4.03 Nonconforming Lots of Record			X	

**OFF-STREET PARKING REQUIREMENTS
SECTION 5.01**

Requirement	Does Site Plan Meet the Requirement?			Comment
	Yes	No	N/A	
A. All future development of land or expansion of existing uses shall meet these parking requirements:				
B. Off-street parking spaces for nonresidential uses in residential districts shall be located within a rear yard or within a side yard.			X	
C. Off-street parking for other than residential uses shall be either on the same lot or within 300 feet of the building it is intended to serve (or a distance approved by the planning commission), measured from the nearest point of the building to the nearest point of the off-street parking lot. Parking may not be located across Saginaw or Mt. Morris streets from the business it serves.	X			See sheet SP-1
D. The storage, maintenance or repair of merchandise, motor vehicles or other equipment on required off-street parking spaces is prohibited.			X	
E. For those uses not specifically mentioned, the requirements for off-street parking facilities shall be in accord with a use which the planning commission considers is similar in type.				Retail and business parking requirements are utilized.
F. When units of measurements determining the number of required parking spaces result in the requirement of a fractional space, all fractions over one-half shall be rounded up.				

**OFF-STREET PARKING AND OFF-STREET LOADING SPACE REQUIREMENTS
SECTION 5.02**

Required*		Provided	
Off-Street Parking Spaces	49	Off-Street Parking Spaces	59
Off-Street Loading Spaces	2	Off-Street Loading Spaces	2

**DESIGN REQUIREMENTS FOR OFF-STREET PARKING AND LOADING SPACES
SECTION 5.04**

Requirement	Does Site Plan Meet the Requirement?			Comment
	Yes	No	N/A	
A. Off-street parking lots spaces shall be laid out, constructed and maintained in accordance with the following requirements:				
1. No parking lot shall be construed without a zoning permit issued by the zoning administrator. Parking lots that are part of site plan approved by the Planning Commission do not require a separate zoning permit.			X	
2. Adequate ingress and egress to the parking lot shall be provided for vehicles by means of clearly limited and defined drives.	X			Sheet SP-1
3. Parking spaces shall be set back from abutting residential districts as follows:				
a. Where the parking lot abuts on side lot lines, the required setback shall be ten feet from the side lot lines.		X		Adjacent district is multi-family residential and there is no setback. Sheet SP-1.

**DESIGN REQUIREMENTS FOR OFF-STREET PARKING AND LOADING SPACES
SECTION 5.04**

Requirement	Does Site Plan Meet the Requirement?			
	Yes	No	N/A	Comment
b. Where the parking lot abuts on a contiguous common frontage in the same block, the required setback from the street right-of-way shall be equal to the residential required setback, or average of existing setbacks in the common block frontage, whichever is greater.			X	
c. Where the parking lot is across the street and opposite, with residential lots fronting on such streets, the required setback from the street right-of-way shall be equivalent to the opposite residential required setback.	X			Setback on the southern property line (Walker St.) is greater than the setback of residential properties across the street.
d. Where the parking lot abuts the rear lot line, the required setback shall be ten feet from the street lot line.			X	There is no rear lot line.
4. Where the parking lot boundary adjoins property zoned for residential use, a suitable screening wall shall be provided. Suitable ornamental fencing may be substituted for the screening wall with the approval of the planning commission. Said wall or fence shall not extend into the required front open space of abutting residential lots. The height of the wall or fence shall be at least four feet but no higher than six feet.	X			Sheet SP-1
5. All lighting for parking areas shall be limited to 20 feet in height and shall be directed away from and shielded from adjacent property and rights-of-way, especially residential areas, and shall be arranged to not adversely affect driver visibility on adjacent roads.	X			Sheet SP-2
6. The parking lot shall be drained to eliminate surface water in such a way as to preclude drainage onto adjacent property or toward buildings.	X			Sheet C-2.
7. The surface of the parking lot, including drives and aisles, except for the buffer strips, shall be constructed of concrete, bituminous asphalt or similar dustless and durable all-weather surface material.	X			Sheet C-2.
8. The parking facilities design and layout meets the minimum dimensional requirements:	X			Sheet SP-1
9. All parking lots shall meet Michigan Barrier Free parking space requirements.	X			Sheet SP-1
10. All parking areas (including loading and unloading areas) must provide for sufficient access for fire fighting and access by other emergency vehicles.		X		No fire lanes are shown on the plans.
B. Off-street loading spaces for specified land uses shall be provided in accordance with the following requirements:				
1. Retail uses. All retail sales facilities exceeding 10,000 square feet in floor area shall provide two loading spaces plus one loading space for each additional 30,000 square feet of floor area over 10,000 feet.	X			Sheet SP-3
2. Industrial uses. All industrial land uses shall provide one loading space for each 10,000 square feet of floor area, with a minimum of not less than two loading spaces.			X	
3. All loading spaces shall be located and designed to avoid creating traffic hazard to public use of all public rights-of-way.	X			Sheet SP-3

**OFF-STREET LOADING REQUIREMENTS
SECTION 5.05**

<i>Requirement</i>	Does Site Plan Meet the Requirement?			
	Yes	No	N/A	Comment
A. Each parking space shall consist of an area not less than ten feet wide by 20 feet deep; provided, however such dimensions shall be increased, when necessary, to permit safe ingress and egress thereto.	X			Sheet SP-1
B. Required off-street parking areas for three or more automobiles shall have individual spaces marked, and shall be so designed, maintained, and regulated that no parking or maneuvering incidental to parking shall be on any public street, walk, or alley, and so that any automobile may be parked and maneuvered without moving or damaging another.	X			Sheet SP-1
C. For purposes of rough computation, an off-street parking space and necessary access and maneuvering room may be estimated at 300 square feet, but off-street parking requirements will be considered to be met only when actual spaces meeting the requirements above are provided and maintained, or improved in a manner appropriate to the circumstances of the case, and in accordance with all ordinance and regulations of the city.	X			Sheet SP-1
D. Any lighting used to illuminate any off-street parking and loading area shall be so arranged so as to direct light away from adjoining property and streets.	X			Sheet SP-2 provides the location of lights and a note required lighting to comply with this requirement, but detail on the sheet is limited.
E. Off-street parking and loading areas shall be surfaced with asphalt, bituminous or concrete pavement, and shall be graded and drained to dispose of all surface water into the storm sewer system.	X			Sheet C-2
F. Any construction or rearrangement of existing drives which involve the ingress and/or egress of vehicular traffic to or from a public street shall be so arranged so as to insure the maximum of safety and the least interference with traffic upon said streets and shall be approved by the zoning administrator, in writing.	X			Sheet SP-3

**DISTRICT DIMENSIONAL REQUIREMENTS
SECTIONS 6.14 & 6.15**

Zoning District: C General Business		Proposed Use: Marihuana Retailer
<i>District Requirement</i>	<i>Ordinance Standard</i>	<i>Proposed Site Plan</i>
Minimum Lot Area (sq. ft.)	n/a	
Minimum Setbacks – Front (N)	Avg. of Properties w/in 300' (~30')	16.2'
- Front (S)	50'	68.08'
- Side (W)	50'	0'
- Side (E)	n/a	0'
Maximum Building Height (ft)	Within approved fire fighting capabilities	15'
Minimum Lot Width (ft.)	n/a	
Minimum Lot Depth (ft.)	n/a	
Maximum Lot Coverage (%)	n/a	
Maximum Number of Accessory Structures	n/a	
Maximum Height of Accessory Structures	n/a	

ARTICLE 9. DESIGN STANDARDS

<i>Requirement</i>	<i>Does Site Plan Meet the Requirement?</i>			
	<i>Yes</i>	<i>No</i>	<i>N/A</i>	<i>Comment</i>
Sec. 9.01. Adult foster care family and small group homes site design standards.			X	
Sec. 9.02. Adult foster care medium and large group homes site design standards.			X	
Sec. 9.03. Adult uses site design standards.			X	
Sec. 9.04. Cemeteries, municipal, denominational and private cemeteries site design standards.			X	
Sec. 9.05. Cluster subdivision site design standards.			X	
Sec. 9.06. Family day care home and group day care home site design standards.			X	
Sec. 9.07. Fire station and water tower site design standards.			X	
Sec. 9.08. Garden apartment and townhouse site design standards.			X	
Sec. 9.09. Home occupations site design standards.			X	
Sec. 9.10. Hospitals, sanitariums, clinics, nursing and rest homes and charitable institutions for human care site design standards.			X	
Sec. 9.11. Industrial park site design standards.			X	
Sec. 9.12. Mixed use site design standards.			X	
Sec. 9.13. Mobile home park site design standards.			X	
Sec. 9.14. Planned unit development site design standards.			X	
Sec. 9.15. Public parks, golf courses, country clubs, tennis courts, and similar recreational uses site design standards.			X	
Sec. 9.16. Radio and television station site design standards.			X	
Sec. 9.17. Shopping center site design standards.			X	
Sec. 9.18. Drive-thru facilities in central business district.			X	
Sec. 9.19. Wireless telecommunications towers and antennas.			X	

**GENERAL STANDARDS FOR APPROVAL OF SITE PLANS
SECTION 7.06**

<i>Standard</i>	Does Site Plan Include this Information?		
	Yes	No	N/A
A. Sidewalks and other walkways, driveways, parking areas, loading areas and maneuvering lanes will be designed to promote traffic safety, minimize turning movement conflicts, eliminate the stacking of cars within the public right-of-way, minimize vehicle/pedestrian conflicts, provide adequate access for fire, police, ambulance and other emergency services personnel, minimize the number of driveways with access onto major streets, promote adequate spacing between driveways, ensure adequate geometric design of streets and promote shared access.			
<p>COMMENTS/FINDINGS OF FACT:</p> <ul style="list-style-type: none"> The site plan provides for two driveways on the site, one to Mt. Morris St. and one to Walker St. Proposed parking areas and on-site circulation appear to meet ordinance standards. 			
Applicants Comments:	Planning Consultant Comments: The addition of additional landscaping and detail regarding onsite circulation in the second site plan submittal complies with ordinance requirements.	Planning Commission Comments:	
B. Adequate transition areas or buffers will be provided between land uses to minimize off-site conflicts due to noise, light, smoke, odor or other nuisances and to maintain physical attractiveness.			
<p>COMMENTS/FINDINGS OF FACT:</p> <ul style="list-style-type: none"> Adjacent parcels to the West are zoned for Multi-Family residential (RB) Other lot lines are adjacent to road rights-of-way or a railroad right-of-way The lot immediately adjacent to the West is vacant and currently owned by the Genesee County Land Bank, but an occupied residential property is extremely near to the property on the Northwest corner. The zoning ordinance requires a 50' side lot setback for commercial properties adjacent to residential properties. 			
Applicants Comments:	Planning Consultant Comments: The applicant will need to receive multiple variances from the ZBA to develop the parcel as proposed. The Planning Commission could choose to make this a condition of site plan approval.	Planning Commission Comments:	

**GENERAL STANDARDS FOR APPROVAL OF SITE PLANS
SECTION 7.06**

<i>Standard</i>	Does Site Plan Include this Information?		
	Yes	No	N/A
C. Utility service is adequate to serve the needs of the development. Water pressure and capacity are adequate to meet usage and fire fighting needs. Sewer lines are adequate to handle the increased flow projected by the land use, and the city has adequate treatment capacity at the county wastewater treatment plant. Storm water facilities are adequate to handle any increased water run-off, which will be minimized through the use of storm water retention and detention facilities when appropriate. The site shall be designed to ensure that there is no increase in runoff onto adjacent sites or that existing drainage patterns are harmed.			
COMMENTS/FINDINGS OF FACT:			
<ul style="list-style-type: none"> Applicant provided a detailed site grading and drainage plan. 			
Applicants Comments:	Planning Consultant Comments: See Engineering Review comments.	Planning Commission Comments:	
D. Physical improvements including sidewalks, drives and parking areas shall be built to adequate standards to minimize premature deterioration.			
COMMENTS/FINDINGS OF FACT:			
<ul style="list-style-type: none"> 			
Applicants Comments:	Planning Consultant Comments: See Engineering Review comments.	Planning Commission Comments:	
E. Sites at which hazardous substances are stored, used or generated shall be designed to prevent spill or discharges to the air, surface of the ground, groundwater, streams, drains or wetlands. Secondary containment for above ground storage of hazardous material shall be provided.			
COMMENTS/FINDINGS OF FACT:			
<ul style="list-style-type: none"> No hazardous materials are proposed to be stored on site. 			
Applicants Comments:	Planning Consultant Comments: N/A	Planning Commission Comments:	

Sample Motion to Approve:

I make a motion to approve the requested site plan for 643 Walker St. & 630 W. Mount Morris St based on the following findings of fact:

- The proposed site plan addresses Standard A because it provides adequate on-site circulation and meets parking design standards contained in the ordinance.
- The proposed site plan addresses Standard B because it provides adequate transition areas and buffers with adjacent land uses, including residentially-zoned properties.
- The proposed site plan addresses Standard C because existing utility services are adequate to serve the needs of the development.
- The proposed site plan addresses Standard D because proposed physical improvements are built to standards that will prevent premature deterioration.
- The proposed site plan addresses Standard E because there will be no hazardous substances stored on site.

Further, in order to ensure compliance with these standards, the following conditions are part of my motion to approve:

- Receiving a variance from section 6.14m and 6.14s of the City of Mt. Morris zoning ordinance for the required setback on the western side lot line and the northern front lot line from the Zoning Board of Appeals.
- Addressing additional comments in the November 23, 2021 Memorandum from ROWE Professional Services Company.

Sample motion to disapprove:

I make a motion to deny the requested site plan based on the following findings of fact:

- It does not comply with Standard B because of the lack of a transition area or buffer with adjacent residential zoning districts.
- It does not comply with Standard _____ because of...

Sample motion to postpone:

I make a motion to postpone the approval of the site plan until the next regular meeting to provide the applicant with the opportunity to provide the following information.

- Information on _____ to verify compliance with _____
- Information on _____ to verify compliance with _____